

Planning & Real Estate Consultants

August 3, 2022

Technical Review Committee
Township of Berkeley Heights
29 Park Avenue
Berkeley Heights, NJ 07922

**Re: TRC Planning Review
Site Plan w/ Variances
Block 609, Lot 2.01
578-590 Springfield Avenue**

HB-3 Housing-Business Zone

Dear Members of the Technical Review Committee:

Our office is in receipt of the above referenced application, including the following documents submitted by the applicant:

- Preliminary & Final Site Plan prepared by Page-Mueller Engineering Consultants, PC, dated June 27, 2022
- Floor Plans & Elevations prepared by Walnut Design, LLC, revised June 27, 2022
- Application for Site Plan Approval, dated July 5, 2022

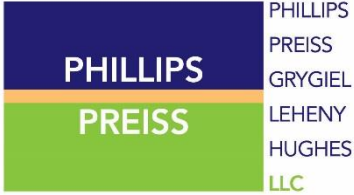
The subject property is currently improved with a two-story commercial office building. The applicant proposes to make interior renovations to convert the building into a mix of office and/or retail within the first story and three residential dwelling units within the second story. The application also proposes an expansion of the existing off-street parking area (including one electric vehicle charging space) and the installation of stormwater management site improvements. Two existing driveways and a paved parking area along Springfield Avenue within the easterly portion of the frontage are proposed to be closed and replaced with a planted area.

Completeness Review

The applicant has requested waivers for the following items:

- Rate of Runoff Documentation
- Environmental Impact Statement

In addition, the application has indicated “N/A” for some items on the Site Plan Checklist that are not pertinent to the proposed development.



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We defer to the Township Engineer as to whether the requested waivers are acceptable.

Compliance Review

The subject property is located in the HB-3 Housing-Business zone. The proposed mixed-use building is permitted in the zone. We note that no changes to the building footprint are proposed.

The following variances have been identified at this time:

- Section 3.1.3 Fences and Walls: A six-foot-high fence is proposed at the property line, whereas a maximum height of 5 feet is permitted at the property line or a setback equal to the fence height is required
- Section 6.1.1.B Max Other Coverage: The maximum other coverage is 35%, the proposed other coverage is 37.3%.
- Section 6.3.3.H.2.b: Tandem parking spaces are not permitted. The application proposed placing three banked spaces in tandem with proposed parking spaces.

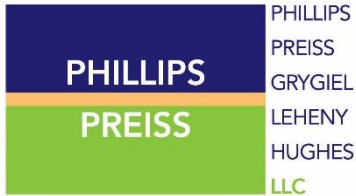
There are also existing non-conforming conditions related to front and rear yard setbacks. These conditions would not be altered as part of the proposed development.

The following **design exceptions** have been identified at this time:

- Section 11.1.3.B.4: Handicapped spaces must be at least 12 feet in width and 18 feet in length. The provided handicapped space is 11 feet wide.
- Section 19.4.5.B.2: Each residential unit shall be provided outdoor space, such as a balcony or patio; no such outdoor spaces is indicated.

Planning Comments

1. The application should provide testimony to the Planning Board addressing the required “c” variances in accordance with the criteria established by the Municipal Land Use Law at NJSA 40:55D-70(c).
2. The application should provide testimony addressing the required design exceptions in accordance with the criteria established by the Municipal Land Use Law at NJSA 40:55D-51b.
3. Applicant should address screening of the proposed condensing units. Will the overhang along rear façade of existing building be removed?



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4. A landscaping plan should be provided. What is proposed for the existing plantings along the frontage of the building?
5. What is the intended use of the garage spaces?
6. What is the setback of the parking area from rear property line? A design exception from §11.1.1.K, which requires 10 foot setback, may be needed.
7. The application will be required to install downtown streetscape improvements in accordance §19.5.5.
8. The applicant should provide information on any signage that will be proposed. Signs must conform with Part 5 of the ordinance.
9. We defer to the Township Engineer re: stormwater management.

We trust that the above information is responsive to your needs.

Respectfully submitted,

Keenan Hughes, AICP, PP