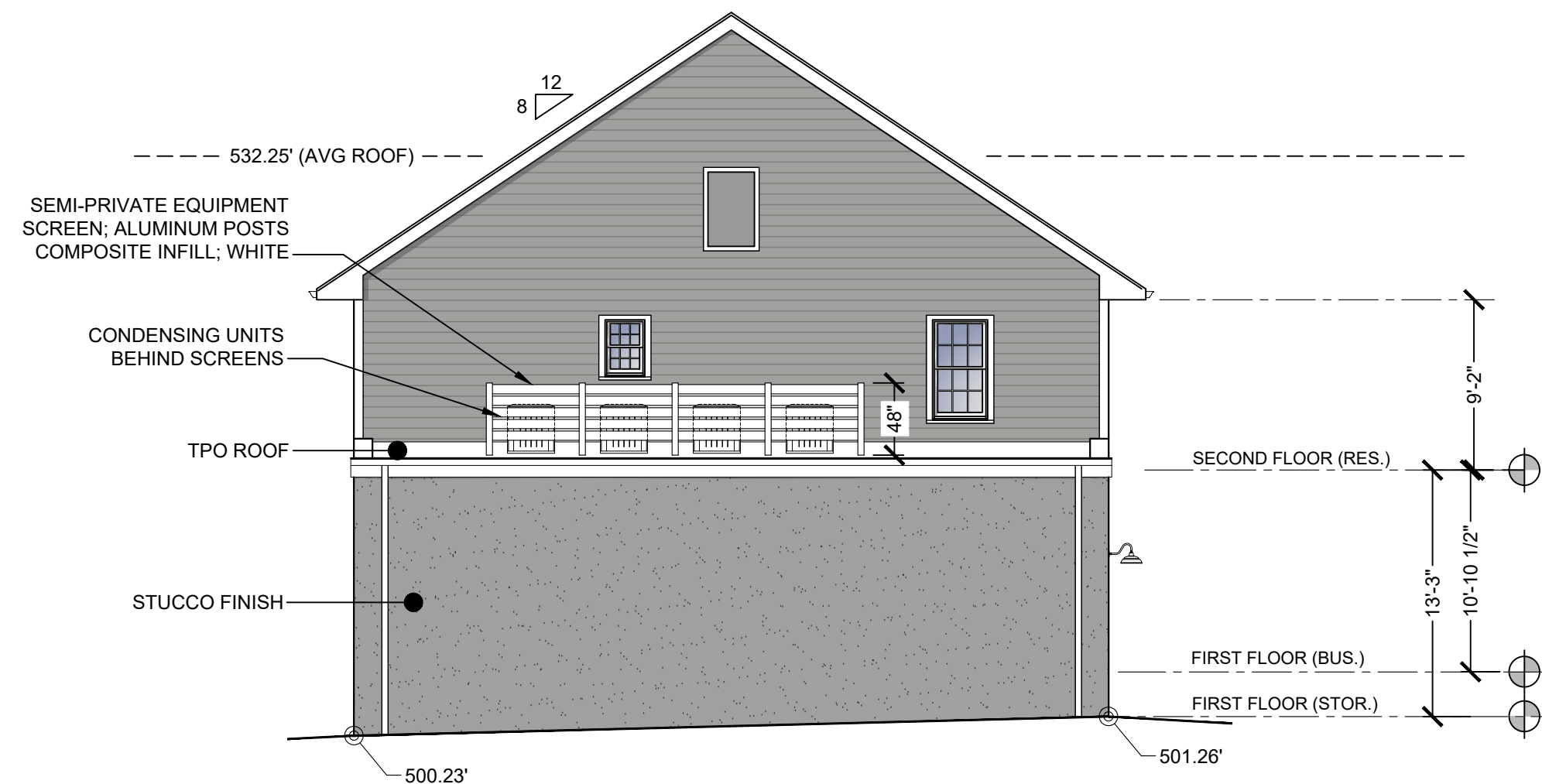


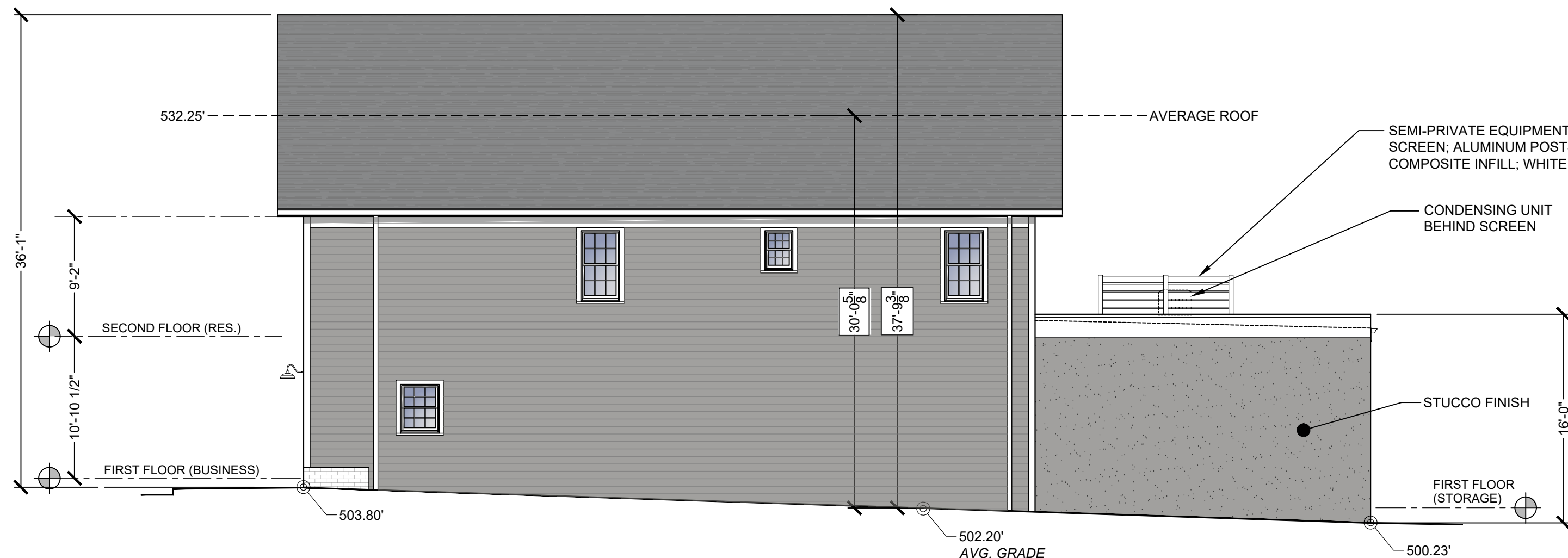
6 NORTH ELEVATION (FRONT)

Scale: 1/8" = 1'-0"



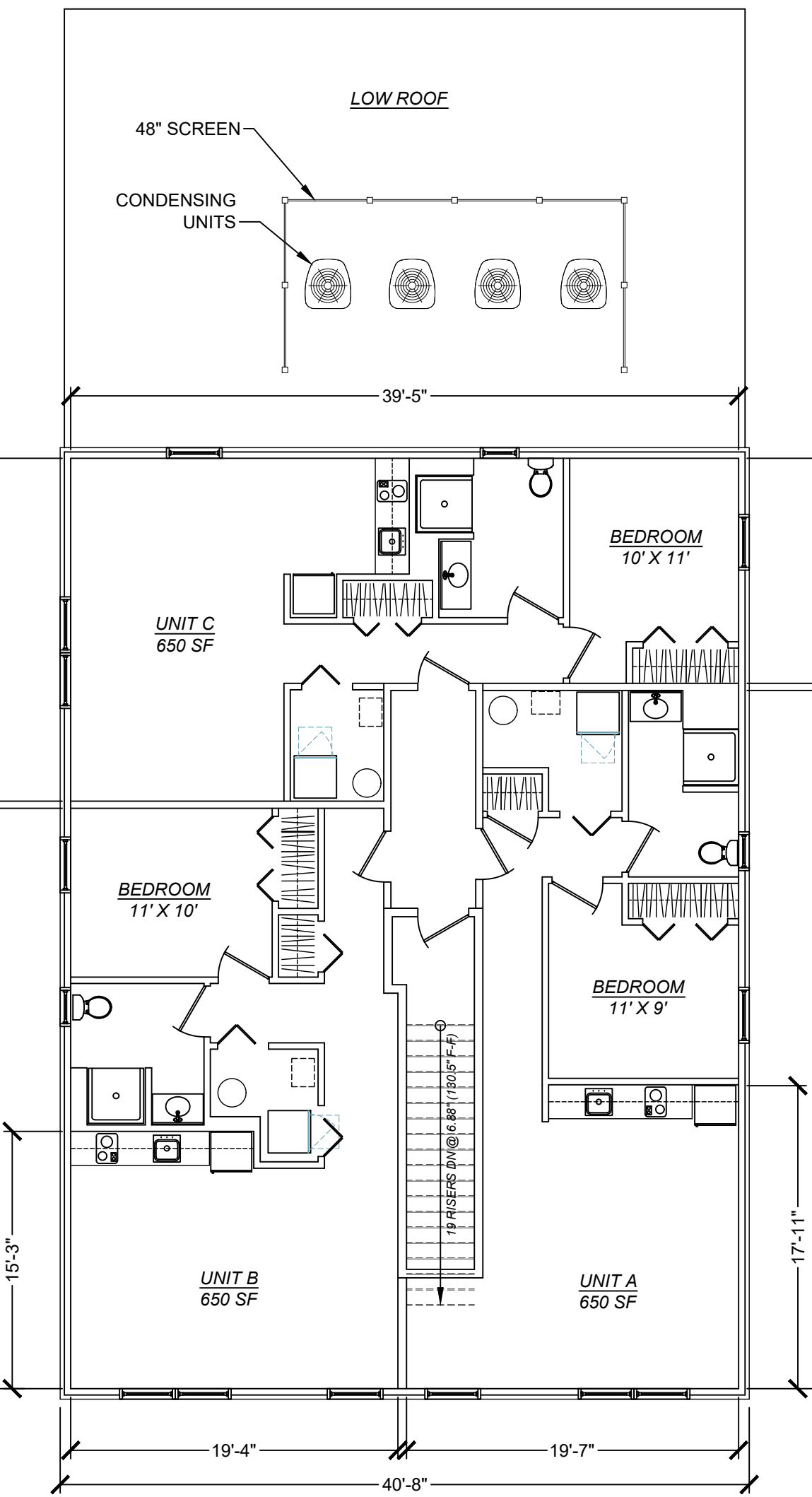
5 SOUTH ELEVATION (REAR)

Scale: 1/8" = 1'-0"



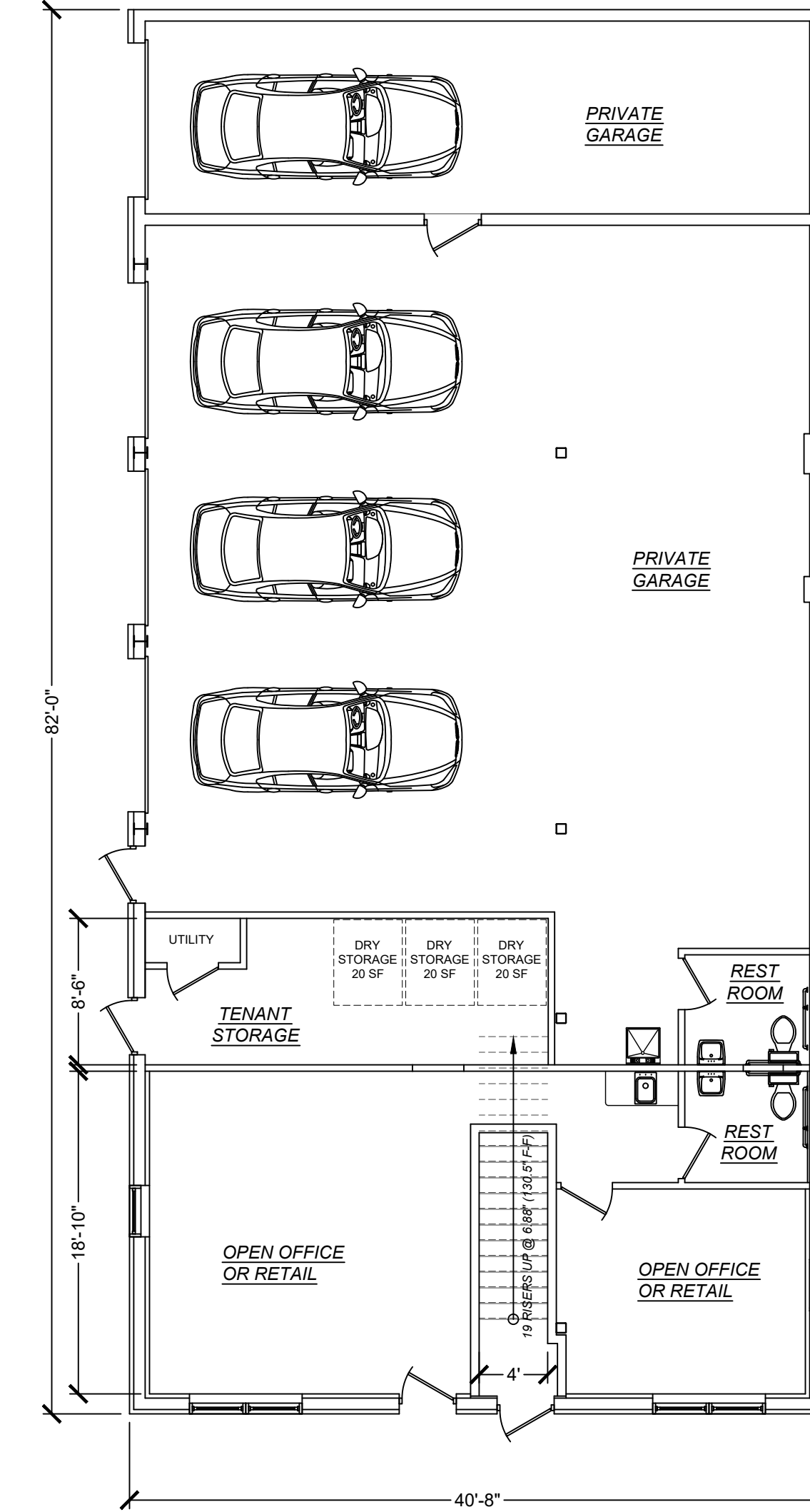
2 WEST ELEVATION (RIGHT SIDE)

Scale: 1/8" = 1'-0"



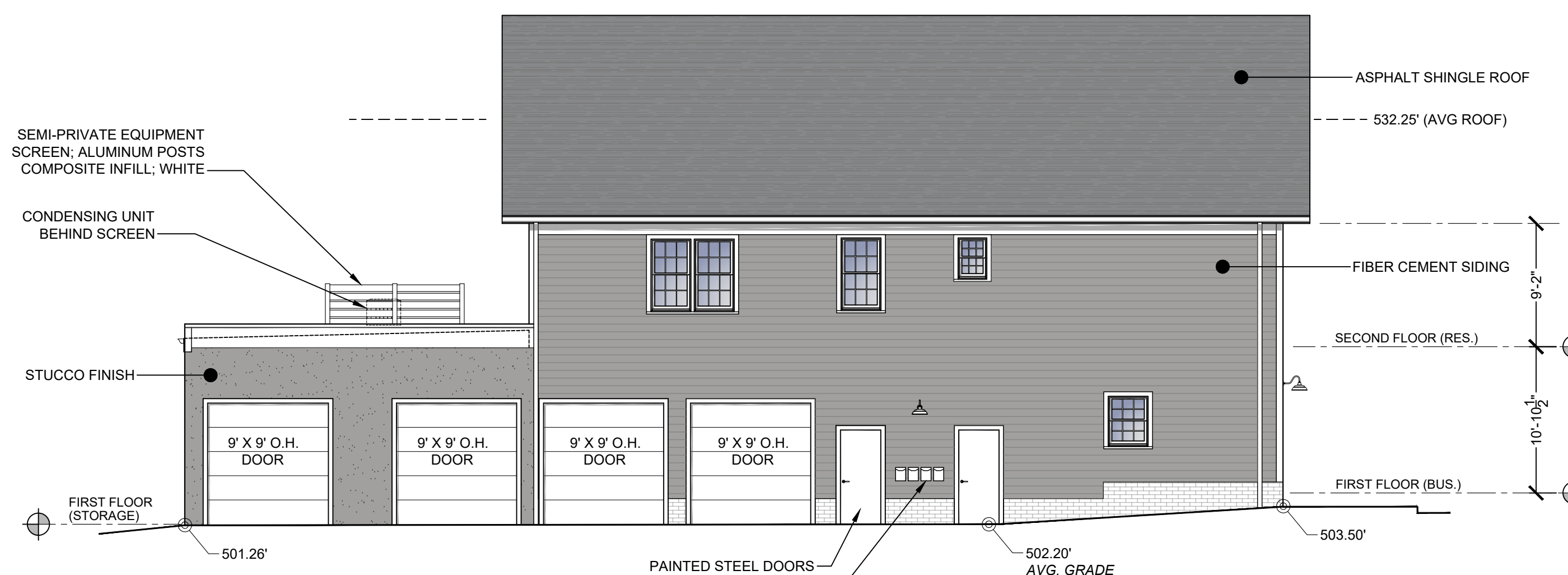
4 SECOND FLOOR PLAN

Scale: 1/8" = 1'-0"



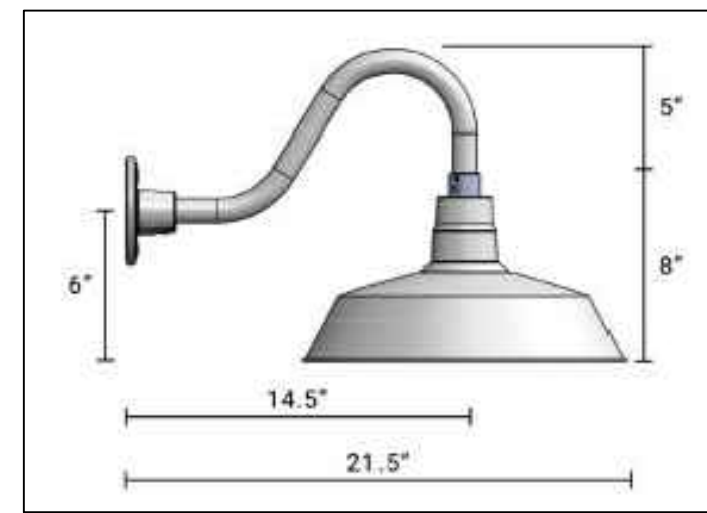
3 FIRST FLOOR PLAN

Scale: 1/8" = 1'-0"



1 EAST ELEVATION (LEFT SIDE)

Scale: 1/8" = 1'-0"



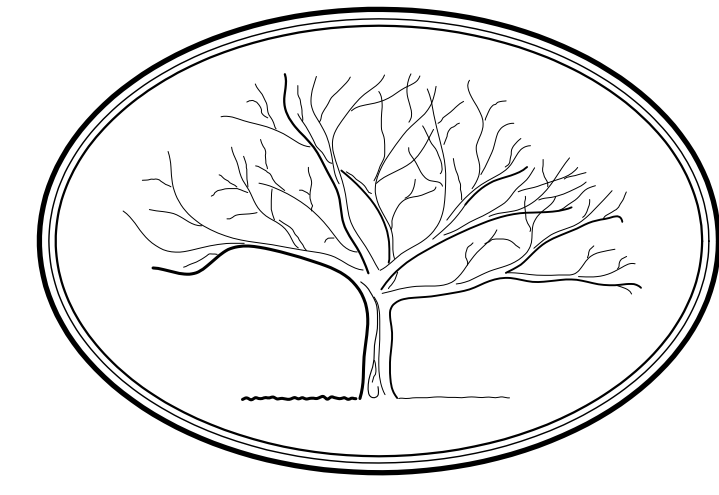
- ACCENT WALL MOUNT LIGHTING:**
- FOVERO RLM SERIES FIXTURE
  - HTM LIGHTING SOLUTIONS OR SIMILAR
  - 14" DIAMETER X 8" HIGH BARN SHADE
  - 1.25" Ø GOOSENECK ARM, 14.5" PROJECTION
  - STANDARD E26 LED BASE
  - 3000K (MAX)
  - ≈2,600 LUMENS

- WALL MOUNTED SIGN:**
- TO COMPLY WITH APPENDIX A: PART 5 OF THE MUNICIPAL CODE AND PART 19.5.6 GUIDELINES FOR THE DOWNTOWN
  - FINAL DESIGN TO BE DETERMINED

**JAMES HARDIE SIDING STANDARD 'STATEMENT COLLECTION': IRON GRAY (SIMILAR TO BENJAMIN MOORE HISTORIC PALETTE HC-168 KENDALL CHARCOAL)**

- EXTERIOR COLOR:**
- TO COMPLY WITH SECTION 19.5.6 OF THE MUNICIPAL CODE FOR COLOR GUIDELINES
  - TRIMS, GUTTERS, AND LEADERS: WHITE
  - ROOF SHINGLE COLOR: DARK GRAY OR BLACK

BUILDING CHARACTERISTICS	
REQUIREMENT	
USE GROUP:	MIXED USE BUILDING
BUSINESS (B):	815 SQUARE FEET
STORAGE (S2):	2,482 SQUARE FEET
RESIDENTIAL (R3):	2,278 SQUARE FEET
CONSTRUCTION CLASS:	VB
BUILDING HEIGHT (RIDGE):	37'-9 3/8" TO AVERAGE GRADE
AVERAGE BUILDING HT.:	30'-0 5/8" TO AVERAGE GRADE
FIRE PROTECTION:	FULLY SPRINKLERED



- Design Consulting - Space Planning - Facilities Design -  
**WALNUT DESIGN, LLC**  
 4 Walnut Avenue, Stirling, New Jersey 07980  
 phone: (844) 475-2325  
 fax: (908) 626-9735

This printed or electronic document is the property of Walnut Design LLC and the Architect. Reproduction, modification or use of this document and any of the information contained herein without written permission is prohibited. Walnut Design LLC and the Architect do not certify or guarantee the accuracy of the information, dimensions, or applicability to field conditions indicated on the document. Under no circumstances shall drawings be scaled. Written dimensions govern. Always verify all conditions including dimensions in field.

*Thomas Ellenberger*  
 415666

Thomas Ellenberger, AIA NJ Lic.: 15666

NO.	REVISIONS	DATE
4	GENERAL REVISIONS	8.18.22
3	GENERAL REVISIONS	8.9.22
2	GENERAL REVISIONS	6.27.22
1	GENERAL REVISIONS	6.4.22

OWNER:

**PARAMOUNT ENTERPRISES**

PO BOX 62  
 BERKELEY HEIGHTS  
 NEW JERSEY 07922

PROJECT TITLE:

PROPOSED ADDITION & ALTERATIONS  
 to  
**588 - 590 SPRINGFIELD AVENUE**  
 BERKELEY HEIGHTS, NEW JERSEY

DRAWING TITLE:

**FLOOR PLANS & ELEVATIONS**

SCALE:	DRAWING
AS NOTED	A.1
DATE:	1.28.22
PROJECT NO:	22-97
	1 OF 1